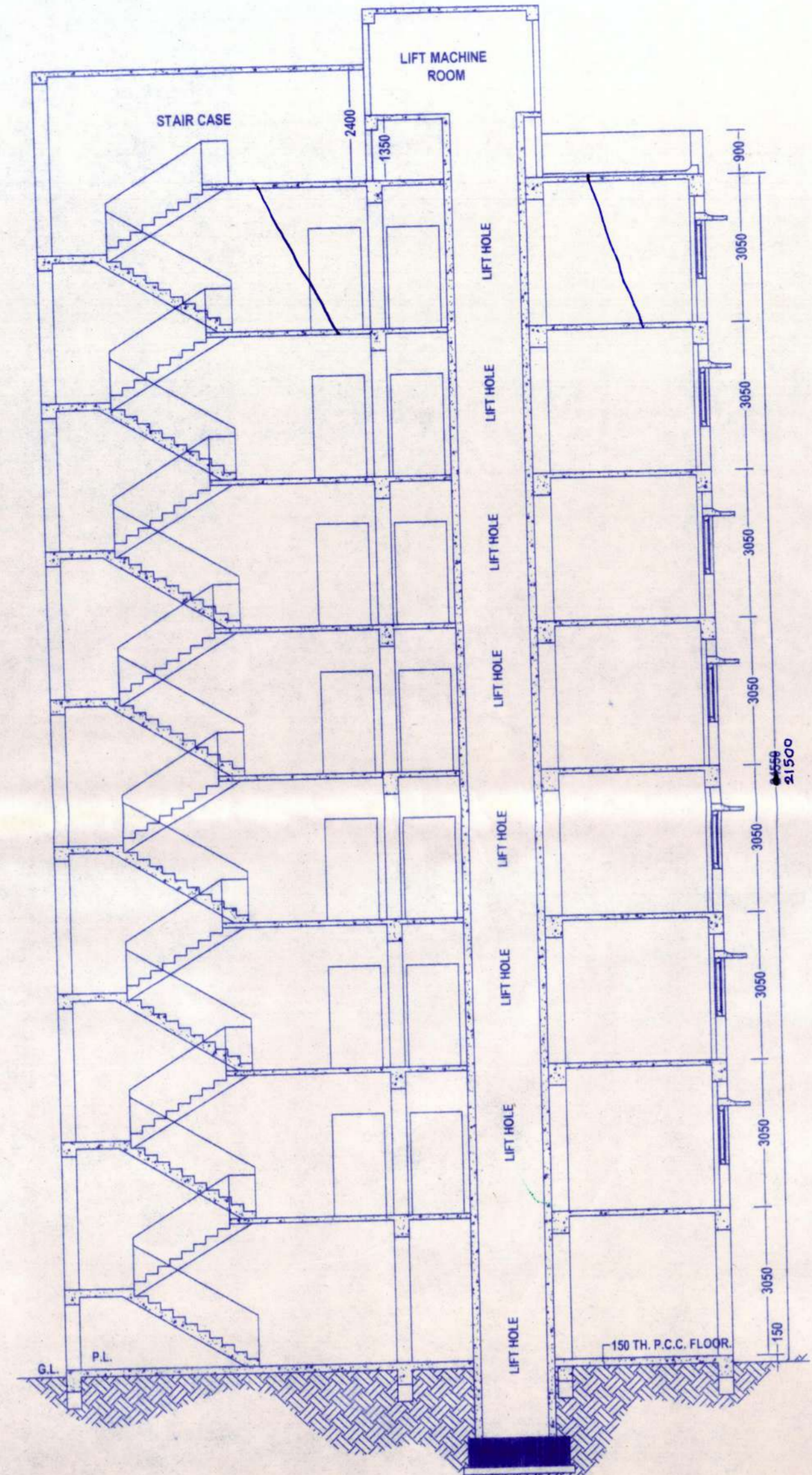
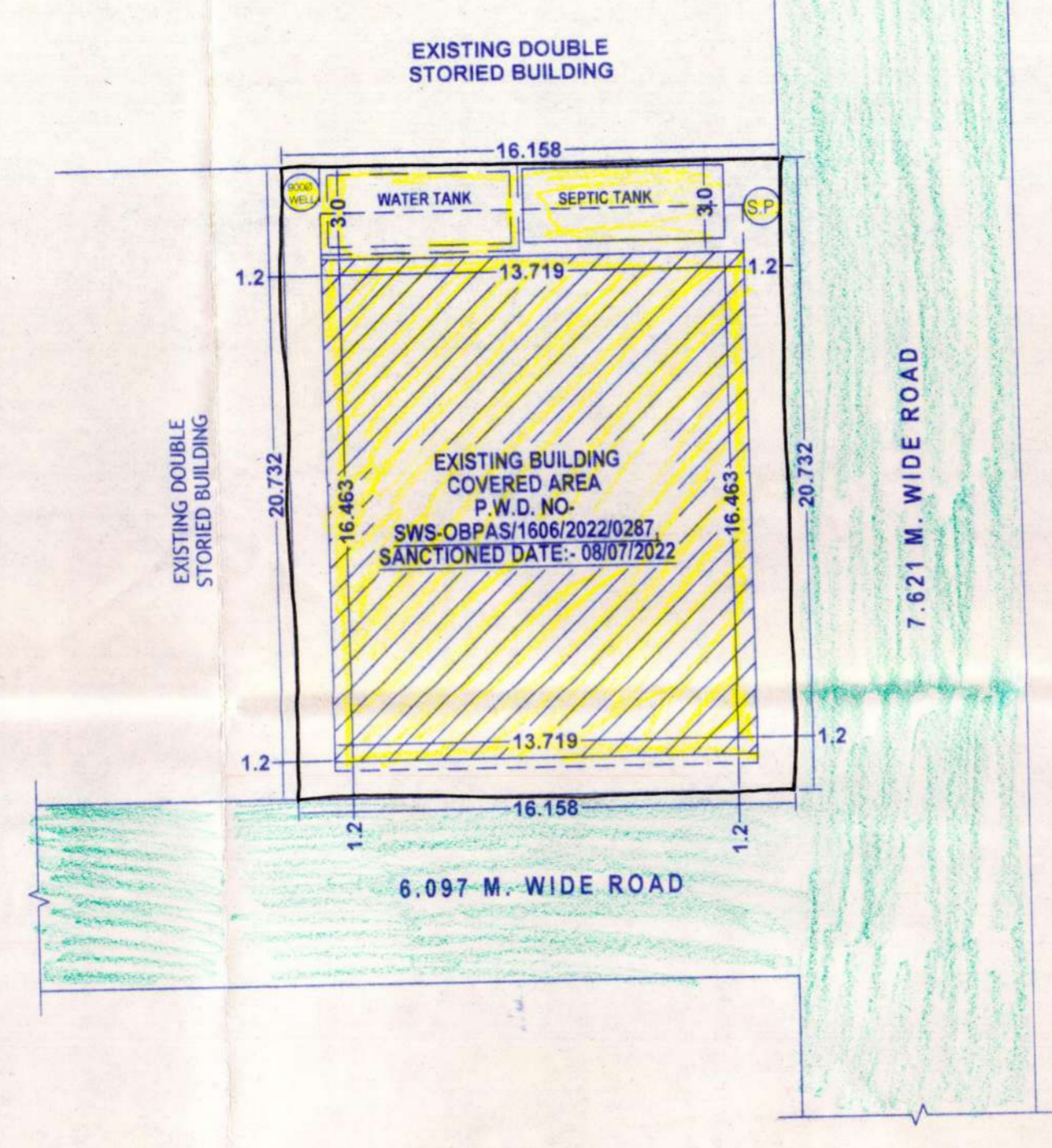


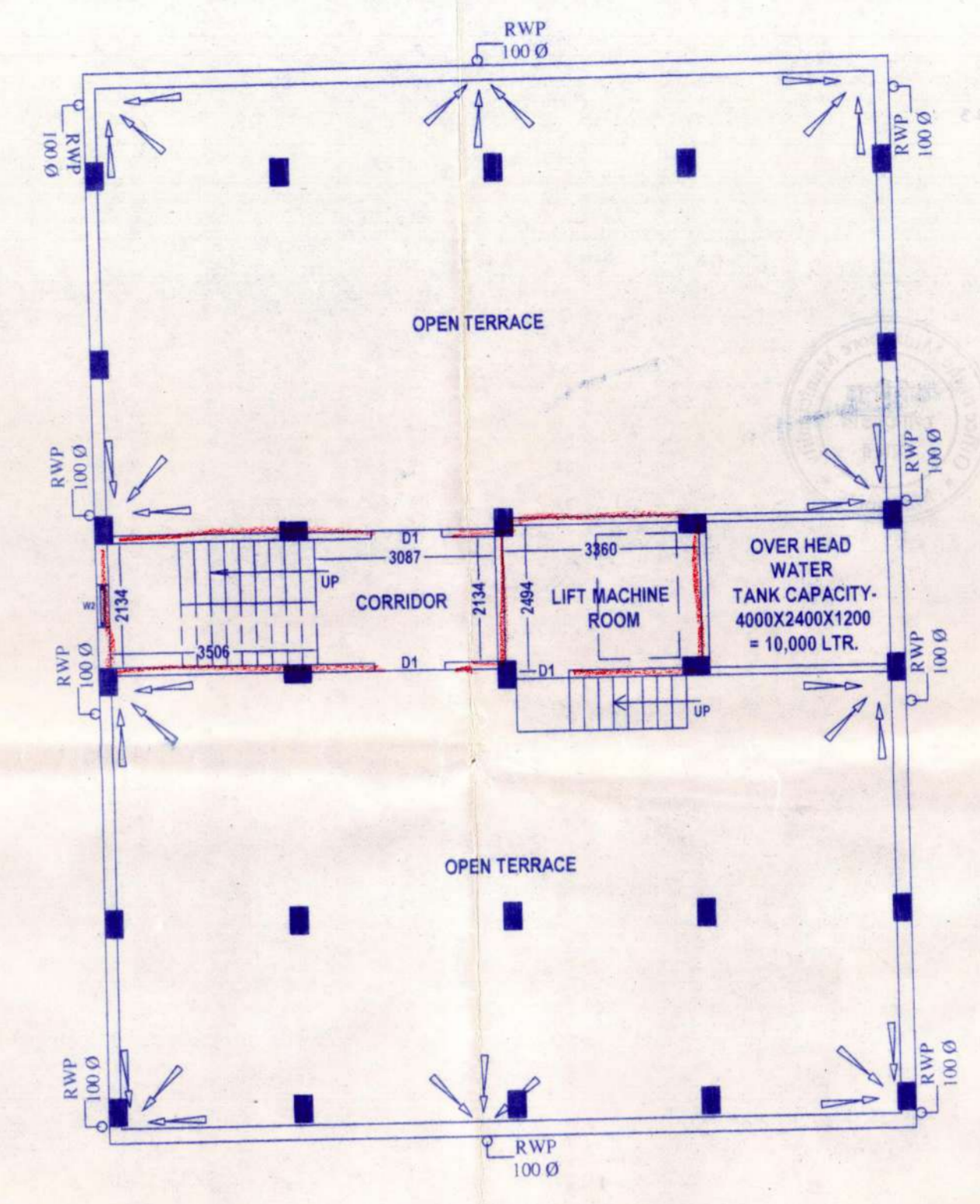
FRONT SIDE ELEVATION
SCALE- (1 : 100)



CROSS SECTION OF X - X'
SCALE- (1 : 100)



SITEPLAN
SCALE- (1 : 200)
DIMENSION ARE IN METER.

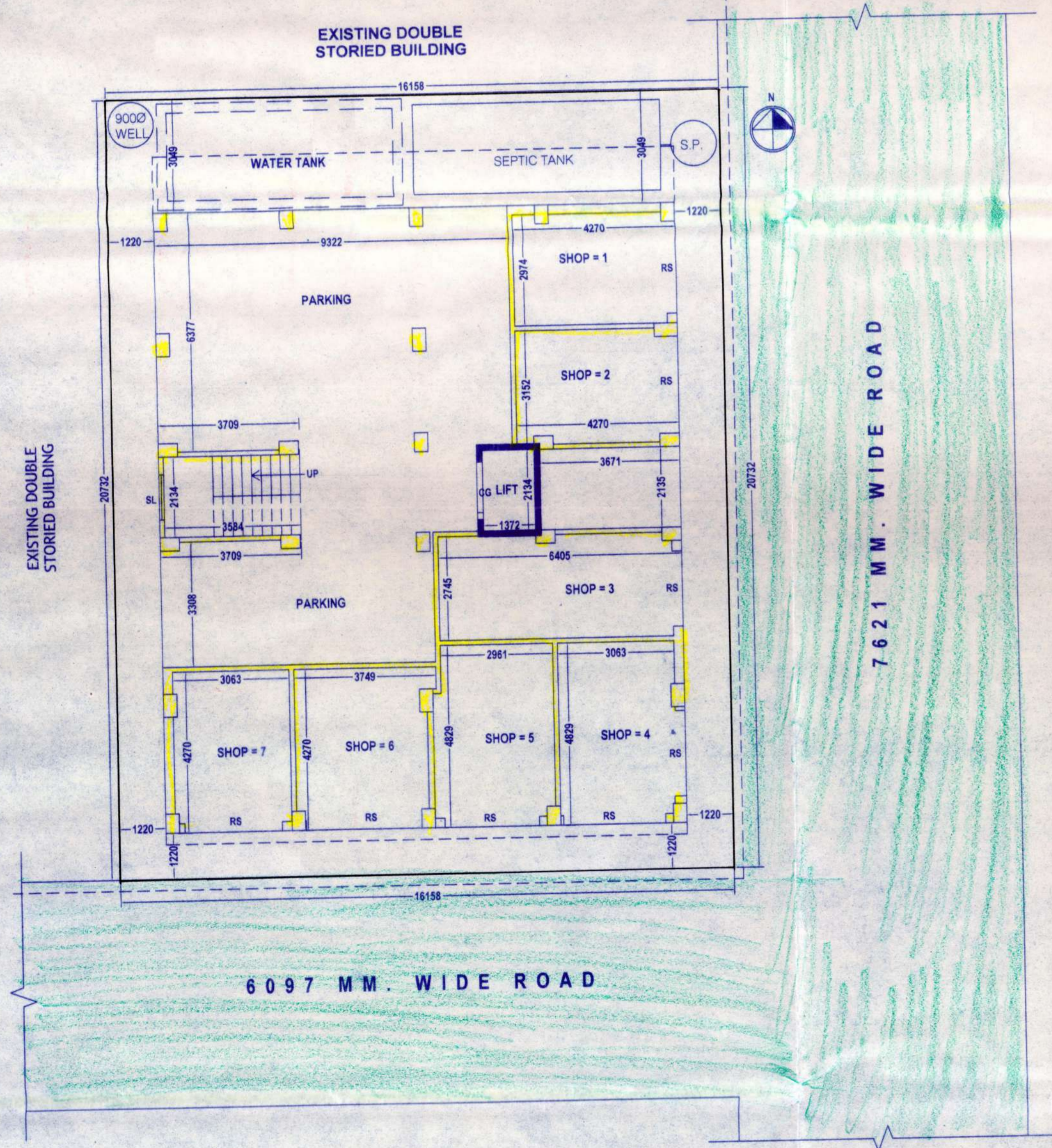


TERRACE PLAN
SCALE- (1 : 100)

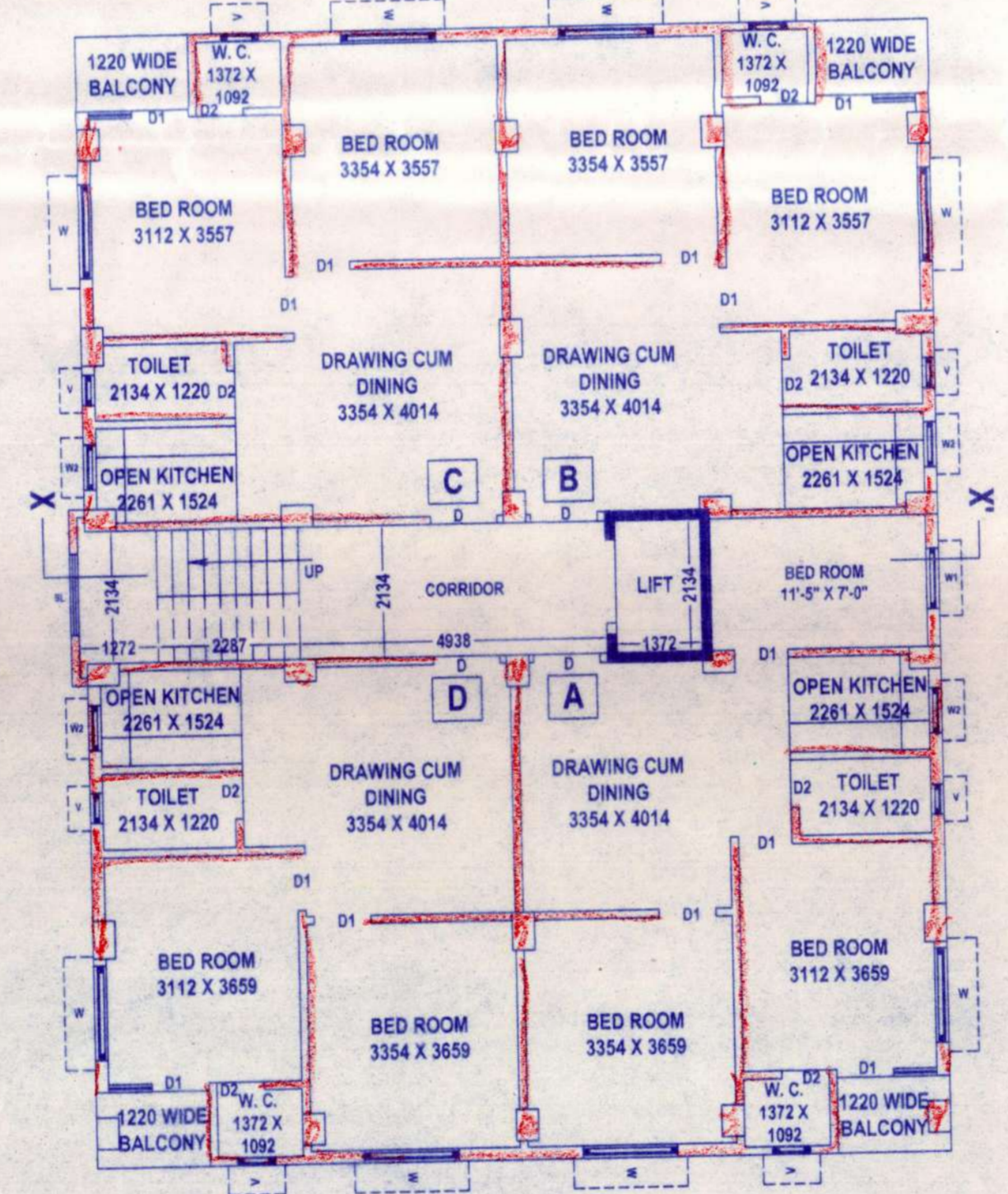
THE PLAN SHOWING FOR PROPOSED FOURTH FLOOR, FIFTH FLOOR, SIXTH FLOOR, SEVENTH FLOOR OVER ALREADY SANCTION 1ST, 2ND, & 3RD FLOOR OVER EXISTING GROUND FLOOR COMMERCIAL & RESIDENTIAL APARTMENT OF 1) SK ANWAR HUSSAIN, S/O- SK AHMED HUSSAIN, 2) RAJKUMAR GHOSH CHOWDHURY, S/O- BISWANATH GHOSH CHOWDHURY, 3) SUBHAS PAUL, S/O- BISWANATH PAUL, AT SEKHPURA, LL NO- 172 IN R.S. PLOT NO- 171 (PART), L.R. PLOT NO- 1550 (PART), SUB PLOT NO- 38, IN HOLDING NO- 16, AT STREET- BIDHAN NAGAR, WARD NO- 5, MEDINIPUR, DIST.- PASCHIM MEDINIPUR, UNDER MIDNAPUR MUNICIPALITY.

AREA UTILIZATIONS STATEMENT

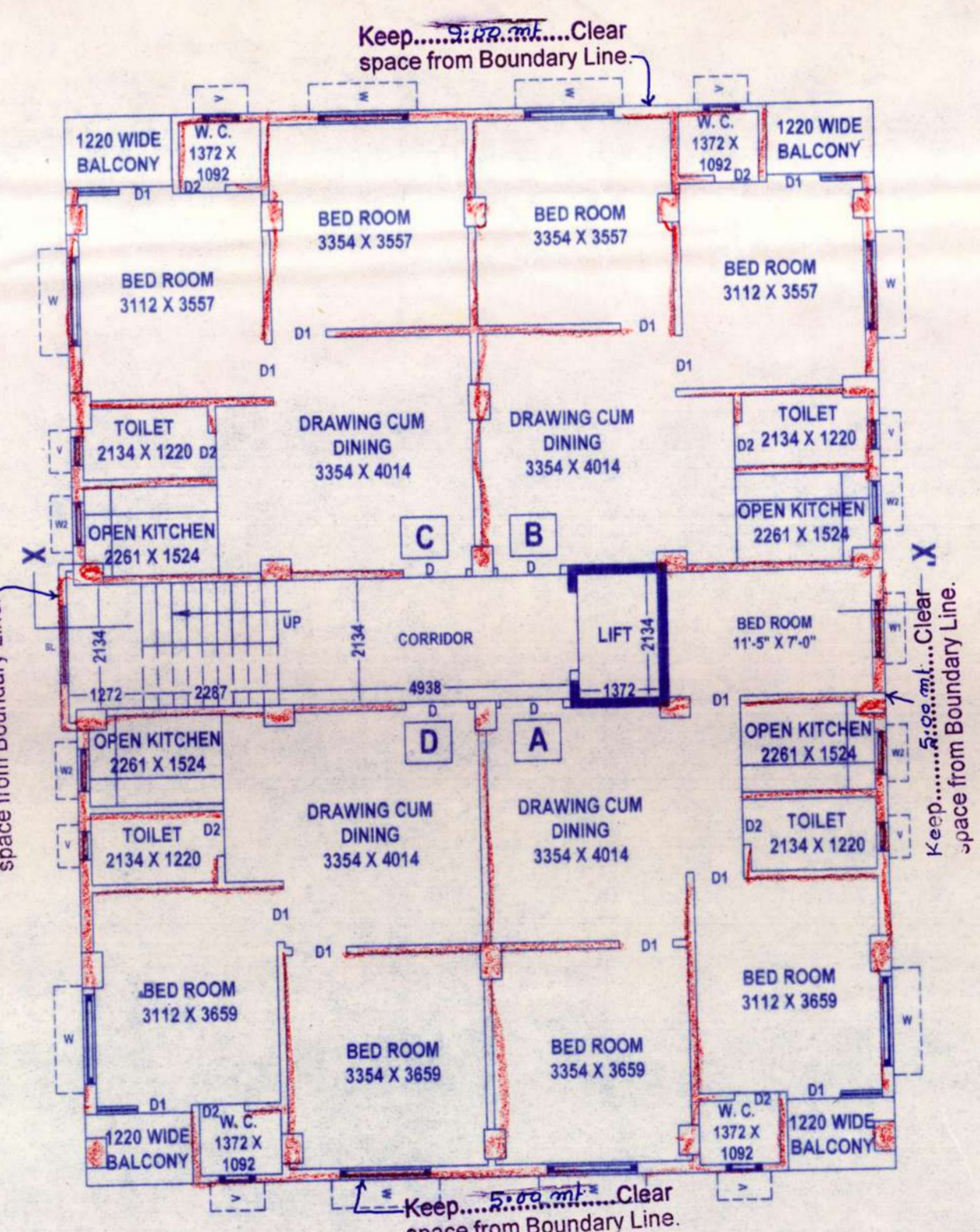
AREA OF TOTAL LAND	334.971 SQ.M.
COVERED AREA IN EXISTING GROUND FLOOR	222.474 SQ.M.
ADDITION & ALTERATION AREA IN GROUND FLOOR	3.394 SQ.M.
COVERED AREA IN ALREADY SANCTIONED PROPOSED FIRST FLOOR	222.474 SQ.M.
ADDITION & ALTERATION AREA IN FIRST FLOOR	28.49 SQ.M.
COVERED AREA IN ALREADY SANCTIONED PROPOSED SECOND FLOOR	222.474 SQ.M.
ADDITION & ALTERATION AREA IN SECOND FLOOR	28.49 SQ.M.
COVERED AREA IN ALREADY SANCTIONED PROPOSED THIRD FLOOR	222.474 SQ.M.
ADDITION & ALTERATION AREA IN THIRD FLOOR	28.49 SQ.M.
COVERED AREA IN PROPOSED FOURTH FLOOR	250.964 SQ.M.
COVERED AREA IN PROPOSED FIFTH FLOOR	250.964 SQ.M.
COVERED AREA IN PROPOSED SIXTH FLOOR	250.964 SQ.M.
COVERED AREA IN PROPOSED SEVENTH FLOOR	250.964 SQ.M.
TOTAL COVERED AREA	1982.82 SQ.M.
GROUND COVERAGE	66.42 %
FAR	5.919
HEIGHT OF THE BUILDING	24.55 M.



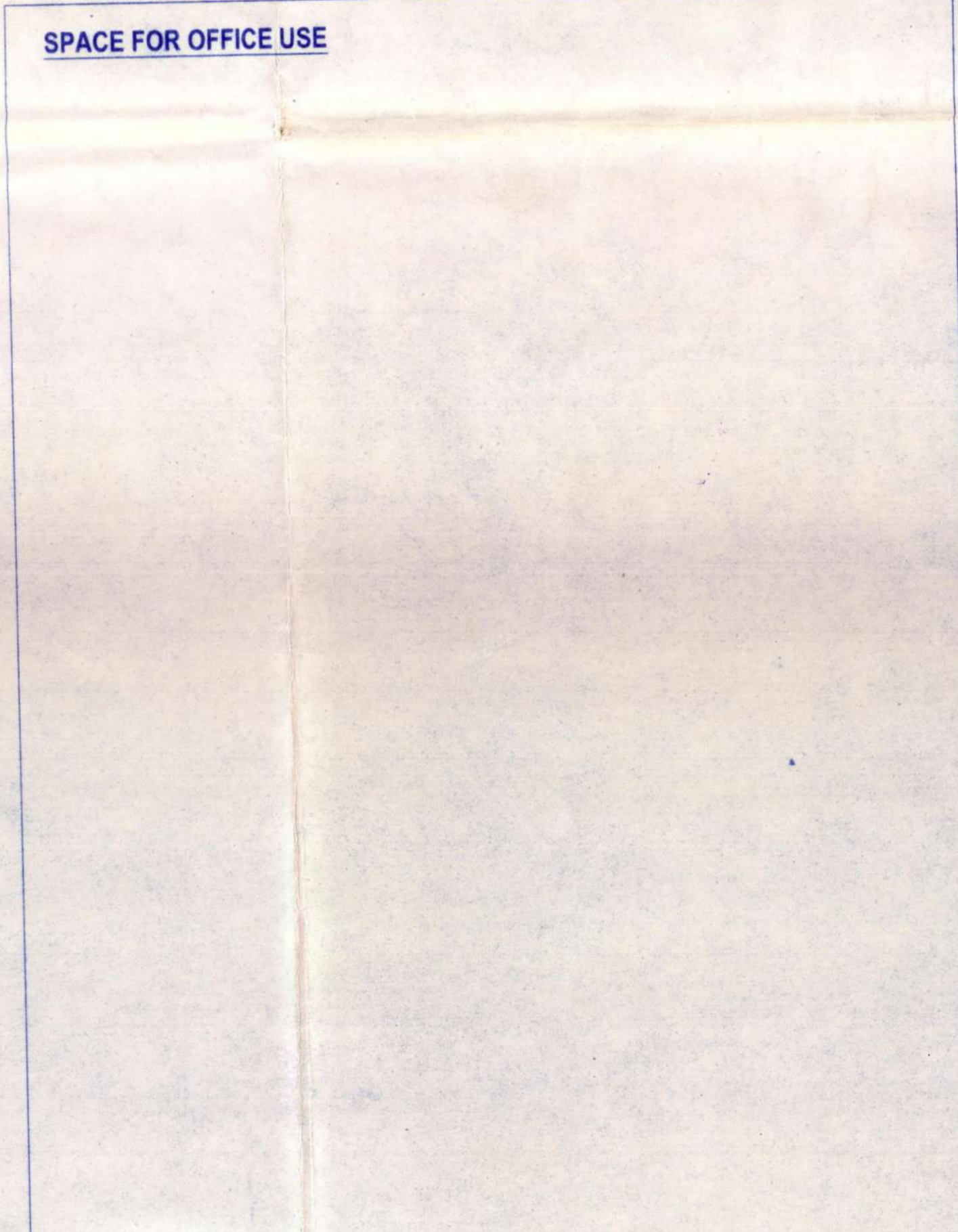
EXISTING GROUND FLOOR PLAN
SCALE- (1 : 100)



PROPOSED TYPICAL FLOOR PLAN
(FIRST FLOOR, SECOND FLOOR & THIRD FLOOR PLAN)
(ALREADY SANCTIONED VIDE P.W. NO- SWS-OBPAS/1608/2022/0287, SANCTIONED DATE- 08/07/2022)
SCALE- (1 : 100)



PROPOSED TYPICAL FLOOR PLAN
(FOURTH FLOOR, FIFTH FLOOR, SIXTH & SEVENTH FLOOR)
SCALE- (1 : 100)



SPACE FOR OFFICE USE

SCHEDULE OF OPENING

S.L. NO.	SYMBOLS	REFERENCE	SIZE
1.	D	DOOR	1200 X 2100
2.	D1	DOOR 1	800 X 2100
3.	D2	DOOR 2	750 X 2100
4.	W	WINDOW	1000 X 2100
5.	W1	WINDOW 1	1200 X 1200
6.	V	VENTILATOR	600 X 900
7.	SL	SKYLIGHT	900 WIDE

REFERENCE

PLAT LINE	AS NOTED
EX. WORK	AS NOTED
FIN. WORK	AS NOTED
ROAD	AS NOTED
DRAIN	AS NOTED

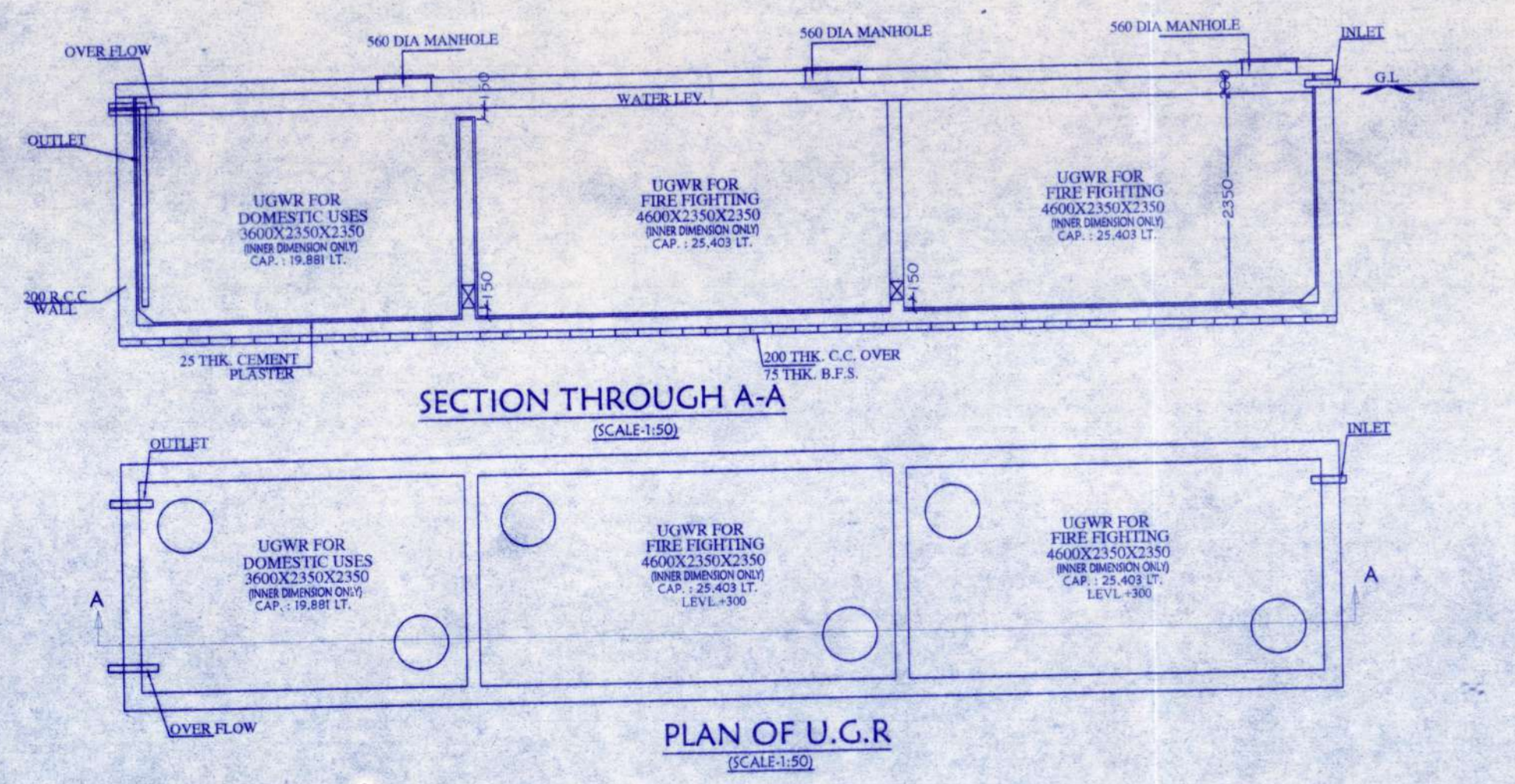
SCALE & DIMENSIONS AS NOTED

NOTE OF SPECIFICATION :

- ALL DIMENSION ARE IN MILLIMETER.
- ALL P.C.C SHALL BE 1:3:6
- ALL R.C.C SHALL BE 1:1.5:3
- ALL 250MM BRICK WORK SHALL BE IN 1:6
- ALL 125MM BRICK WORK SHALL BE IN 1:4
- ALL REINFORCEMENT SHALL CONFORM ISI CODE
- CEMENT SHALL BE MINIMUM 53 GRADE
- IN ALL R.C.C WORK CHIPS(CHANDIL IF POSSIBLE) SHALL BE 12MM TO 20MM
- SAND SHALL BE COARSEMEDIUM AND SILT CONTENT SHALL BE NEGLIGIBLE
- COVER IN BEAMS 25MM IN SLABS 12.5MM IN COLUMNS 25MM(SIDE AND BOTTOM)
- OTHER DETAILS SHALL BE AS PER DESIGN.
- 100 TH. R.C.C. ROOF SLAB

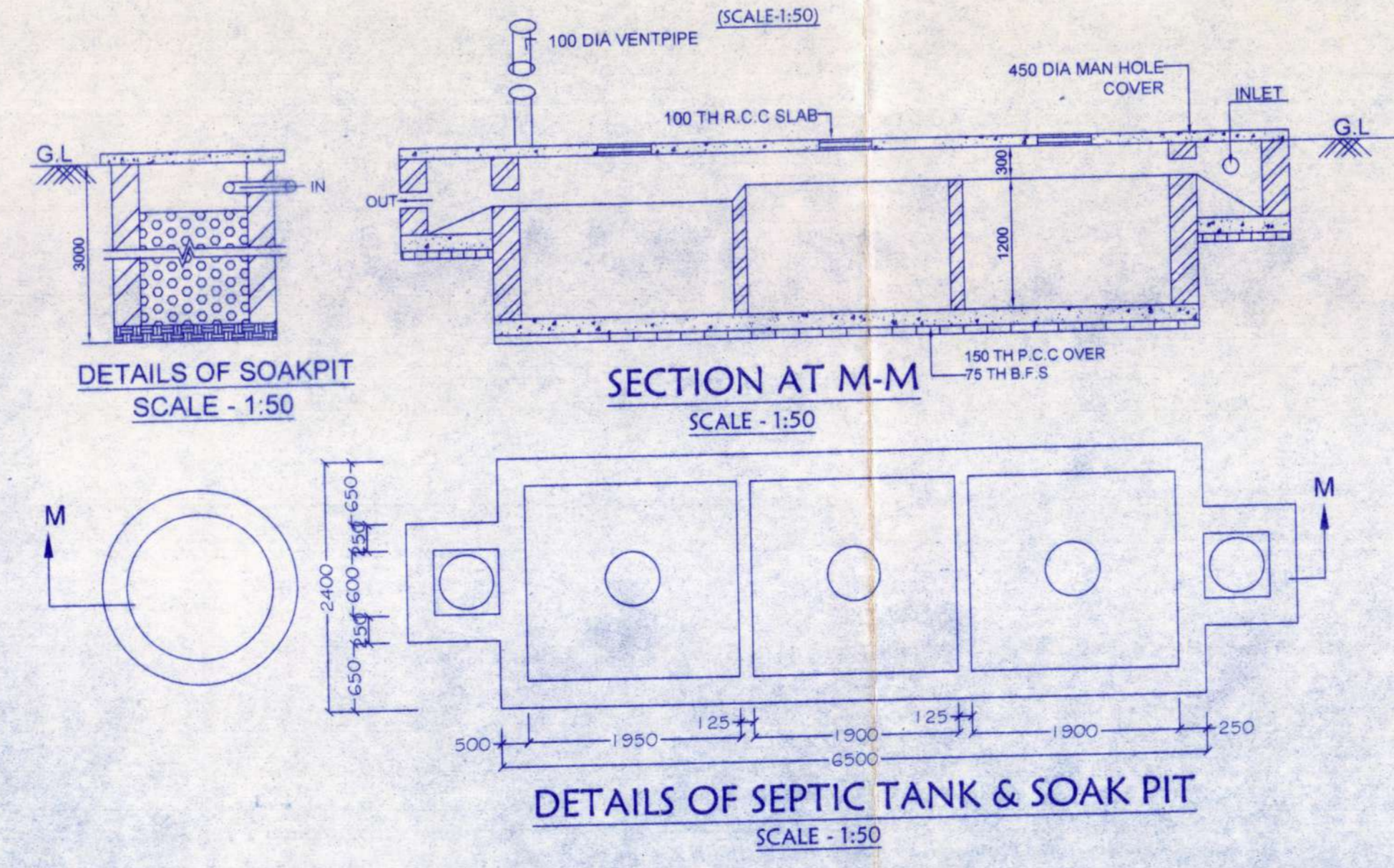
DETAILS:-
MAIN BAR - 8 MMØT @ 125 MM C/C AT MID SPAN L2
125 MM C/C AT SUPPORT L4
DIST. BAR - 8 MMØT @ 175 MM C/C

• THE PHYSICAL POSITION & THE SUPPORTING LEGAL DOCUMENTS (RELATED IN THIS BUILDING PLAN) MAY BE VERIFIED BEFORE APPROVED.



SECTION THROUGH A-A
SCALE-1:50

PLAN OF U.G.R.
SCALE-1:50



DETAILS OF SOAKPIT
SCALE- 1:50

SECTION AT M-M
SCALE- 1:50

DETAILS OF SEPTIC TANK & SOAK PIT
SCALE- 1:50

May be Approved
As per order of Chairman of C.O.P.S.
Sub Asst Engineer
Midnapore Municipality
RECOMMENDED
Biswajit Banerjee
Chairman-in-Council
Department of P.W.D.
Midnapore Municipality

- SK Anwar Hussain
- Raj Kumar Ghosh Chowdhury
- Subhas Paul

OWNER SIGNATURE
Ratnali Pal
AR. PATRALI PAL
CA/93/16012
L.B.A- KMC

SIGNATURE OF ARCHITECT
SUSMITA CHOWDHURY
REGISTERED ENGINEER
M.E. (CONSTRUCTION)
REG. NO. 117/2013
ISS-11/16/06/664
SYR/NKDA/21/06010
CYBERANGLA/10/00117

SIGNATURE OF STRUCTURAL ENGINEER
Rupak Kumar Banerjee
RUPAK KUMAR BANERJEE
B.C.E.M.S.S
M.I.E. CHARTERED ENGINEER
16/01/2016 TECHNICAL MEMBER P.W.D.
G.T. (K.M.C.)
16/01/2016 TECHNICAL MEMBER P.W.D.

SIGNATURE OF GEO-TECHNICAL ENGINEER

P. W. NO. - 14
DATE - 07/07/23

The builder or the Owner will not resort to manual scavenging by engaging sanitation workers for cleaning of septic tank of

Application of SK. Anwar Hussain & others

P.W. No. 14 Date 07/07/23 for 4th, 5th & 6th Floor

of Building for Residential cum Commercial

(Purpose) Examined the application & with specification also held spot enquiry

Sanction to the building plan may be

accorded with permission to execute the work

Date: As per order of chairman dt. 07/23

10/3/23
Sub Asstt Engineer
Midnapore Municipality
Recommended

Diplos Basu
Chairman-in-Council 11/7/23
Department of P.W.D.
Midnapore Municipality



Condition

Adjacent road (surrounding of the building) May not be obstructed by stacking Materials of building.
Time of limit of stacking materials
4th Floor Four Months from the date of commencement
5th Floor four months
6th Floor four months

Sanction order No. 14
P.W.D. Date 07/07/23 Application
Of SK. Anwar Hussain & others
Permission for construction of building
for Residential cum Commercial (purpose)
Considered the opinion of S.A.E. / S.I and
recommendation of the E.O section is hereby
accorded u/s 207(1)(a) of the act read with rule
20(1)(A) to the building plan with Specifier
duly counter signed. The building Plan shall
remain valid for three years from the date of
sanction and may be renewed for another two
years on payment of fees u/s 207(2) of the act.
Permission to execute the work in the prescribed
form is being given separately

12/7/23
Chairman
Midnapore Municipality